

Simon's Sundial Cottage Bury Greater Manchester



Buildings at Risk II Survey



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SUMMARY

This report has been produced as a part of the MOD's Buildings At Risk project. MOD acting on the Sustainable Development in Government Framework is required under target G1D ii, to "incorporate plans for reducing, by means other than disposal, the number of 'Buildings at Risk' on their estate, as reported in DCMS Biennial Conservation Reports – The Government Historic Estate" MOD has taken this forward by undertaking a BAR I survey which has identified the scale of the problem, which specific buildings fulfil the criteria to be considered as "at risk" and what issues in business and estate management may lead to "at risk" status. This report forms part of a BAR II study intended to look at each individual building currently considered as "at risk" on the MOD estate and provide detailed information and costs to allow for remedial action to be planned and undertaken.

Simon's Sundial Cottage is an early eighteenth century, listed farmhouse on Holcombe Moor, near Bury in Greater Manchester. Since 1984 it has formed part of the Ministry of Defence's Holcombe Moor Training Area, but the building has never been used by the MOD as planning conditions prohibit its use for training. Despite this, the cottage is still in a reasonable condition and this is probably attributable to an attempt by the previous owner to restore and convert the cottage during the early 1980s.

The investigation conducted by Oxford Archaeology North in February 2007, found the cottage to be an early eighteenth century farmhouse with two nineteenth century extensions added to the west and north elevations. Although the roof was a modern replacement, much of the external detail, including the stone mullioned casements were original features. However, the same could not be said of the interior, which was heavily modified during the partial conversions during the early 1980s.

There is no management plan currently in place for maintaining or stabilising the building and the advisor for DE has indicated that there are no immediate plans to use the building. However, several options are being explored, in order to give the building some purpose and safeguard its stability. These range from non-tactical military uses such as a stone tent or briefing room to civilian applications, such as a field studies centre for Holcombe Moor Conservation Group.

Trevor Groom of Press & Starkey Chartered Quantity Surveyors have provided indicative costs for the two principal options for the stabilisation of the two buildings:

- to repair the building to a satisfactory state: **£157,058**
- to convert the building for use as a dwelling: **£130,900**

ACKNOWLEDGEMENTS

Oxford Archaeology North (OA North) would like to thank Niall Hammond for commissioning and supporting the project, whilst thanks should also be expressed to Major Jim Snell (Site Commander) and Clare Hetherington (Advisor for Defence Estates) of Holcombe Moor Training Area, for their assistance in undertaking this survey. Additional thanks are also due to the staff at the County Record Offices in Manchester and Preston.

The survey and background research were conducted by Chris Ridings and Philippa Haworth. Trevor Groom of Press and Starkey conducted the quantity surveyor's inspection. Chris Ridings wrote the report with drawings produced by Mark Tidmarsh. Alison Plummer managed the project and also edited the report.

1. INTRODUCTION

1.1 BACKGROUND

- 1.1.2 Oxford Archaeology has been commissioned by Defence Estates to undertake an archaeological building investigation of Simon's Sundial Cottage at Holcombe Moor, near Bury, Greater Manchester (Figure 1) (SD 76828 16017). The investigation was to be completed to a Buildings at Risk (BAR) II standard, the findings of which, are outlined in this document.
- 1.1.3 The Ministry of Defence is committed to reducing the number of 'Buildings at Risk' on its estate and to this end Defence Estates are undertaking a phased survey of its buildings to identify and implement plans to secure their sustainable future. Phase I of this survey, which comprised identifying buildings which should be considered 'at risk', was undertaken internally by Defence Estates and has already been completed. These buildings are mainly listed structures, which are already on the official Government Historic Estate Unit Buildings at Risk register, but it also comprises many other unlisted buildings which are (or may be) under consideration for listing, and which fulfil the criteria for inclusion on the BAR Register.
- 1.1.4 Phase II, for which Dunrod Mill (OA 2006) formed a pilot project, will comprise a more detailed assessment of each individual building (or site) identified during Phase I. It will provide an understanding of why each building is 'at risk' and how its future could be secured. In addition, it will include an assessment of the condition of each building, an inventory of what repairs have been undertaken to it, who is responsible for the building, whether it is in use, to what alternative uses could it be put and how much building works would cost to repair or secure each building's future.

2. METHODOLOGY

- 2.1.1 The site investigation at Simon's Sundial Cottage, Holcombe Moor was completed on 14th February 2007, in accordance with the Buildings at Risk (BAR) Level II standard, as part of a national programme of survey managed for Defence Estates by Niall Hammond (Senior Historic Buildings Advisor). The investigation was undertaken by OA North staff and by Trevor Groom of Press & Starkey Quantity Surveyors. An interview with Major Jim Snell and Clare Hetherington of Defence Estates was held, in order to obtain any relevant files and information regarding the recent history of the building. In addition, an on-site meeting was held with Niall Hammond.
- 2.1.2 Copies of relevant historical maps and documentary research were also obtained from the County Record Offices in Manchester and Preston, whilst GMSMR were also consulted regarding the listing schedule for the building.

3. HISTORICAL AND ARCHAEOLOGICAL BACKGROUND

3.1 INTRODUCTION

- 3.1.1 As detailed above, a number of archives and sources have been consulted to gain an understanding of the historical background to Simon's Sundial Cottage. The following section forms a short summary of the information gathered and principally relates directly to the cottage itself., but in order to provide some context, some of the other farms at Holcombe Moor will be alluded to, where appropriate.

3.2 HOLCOMBE MOOR TRAINING AREA

- 3.2.1 Although a firing range was established on the western fringes of Holcombe Moor during the First World War, Holcombe Moor Training Area was not established until the 1940s. At present, the area is used as an all-purpose training camp for Territorial Army and Cadet organisations training at weekends, and also for regular army units carrying out low level tactical training and live firing.

3.3 CARTOGRAPHIC SOURCES

- 3.3.1 *The County Palatine of Lancaster Map 1786 (Yates 1786, reprinted 1982):* this is the earliest surviving cartographic evidence for the Holcombe Moor area. As a county map, the area and its surroundings are poorly detailed, but there would appear to be several farmsteads depicted, including a building that that may represent Simon's Sundial Cottage. Its position, towards the south of Holcombe Moor and nestled between an unmarked lane and Holcombe Brook, would suggest this.
- 3.3.2 *Enfield To Bolton Turnpike Map 1797 (BAS/ZAL?1339):* this is the first detailed map of Holcombe Moor, and thus, Simon's Sundial and its associated barn (now partially converted to a house) to the immediate south, are both clearly depicted. There is little to suggest that either of the extensions to the west and north have been added by this point, nor is there any evidence of the porch cum outhut on the east elevation.
- 3.3.2 *Ordnance Survey First Edition 1850 and Revised First Edition 1898:* the earlier edition is a poor reproduction, but the revised edition clearly depicts the cottage with the extension to the west and north, whilst the porch or outhut on the east elevation is also represented. There is what appears to be a further extension along the south elevation, but this probably represents a small enclosure or fold as all of the original window on the cottage have been retained. In addition, to the south-east, there is a small bipartite structure, presumably a barn or fold, with a small outhut or pen appended to both its west and north elevations. Furthermore, to the north of the cottage, there is a small hoghouse, whilst the barn to the south of the cottage is depicted with a large fold appended to its south elevation.

- 3.3.3 **Ordnance Survey Second Edition 1910:** the cottage is shown as a simple rectangle, which could reflect that the porch to the east has been removed, but may equally reflect the quality of the representation. Certainly the small hoghole or pen to the north has been removed whilst the barn to the south has been extended at its south end.
- 3.3.4 **Ordnance Survey Third Edition 1930:** the cottage is depicted in plan as before and there is little difference from the previous mapping.

3.4 DOCUMENTARY SOURCES

- 3.4.1 **Tottington Court Rolls, Index of Surrenders - Michaelmas to Easter 1836 (LRO/DDHcl/1/20):** these documents list the changes in ownership of farmsteads within the Tottington area and record the changes in copyhold tenants, who had manorial obligations from 1610 onwards. Simon's Farm is recorded as a newly named farm in 1799.
- 3.4.2 **Slater 1869:** The earliest reference to Simon's Farm in a trade directory is Slater (1869), which lists three separate farmer's names for the farmstead: Henry Longworth, George Collinge and Allen Robinson.

4. BUILDING DESCRIPTION

4.1 INTRODUCTION

- 4.1.1 The cottage of Simon's Sundial is broadly rectangular in plan and comprises a two-unit cottage (Brunskill 1997) (Figure 6) aligned east to west, to which a two storey 'barn' extension has been appended on the west end, whilst a single storey mono-pitched roof has been added to the north elevation (Plates 1-4). A porch was also originally situated at the east end, but this has subsequently been removed. All three phases are built from squared sandstone rubble, which is dressed with sandstone quoins and bonded with lime mortar, whilst the roof is modern and features regular coursed concrete tiles, some Welsh slate and sandstone ridge tiles. In addition, the brick-built ridge-stack is similarly modern, with a stone water-tabling and hooded, squat pot. Perhaps the most significant feature is the eponymous, vertical sundial, which is located on the south elevation, and which is now no more than an unmarked, square stone slab with the remains of an iron gnomon (Plate 5).

4.2 EXTERNAL DETAIL

- 4.2.1 The windows on the south elevation of the earliest phase are chamfered and rebated stone-mullioned casements with shouldered label moulds and up to four lights in each (Plate 6). To the east extent of the elevation, there was originally a doorway complete with shouldered label mould, but this entrance has subsequently been infilled with stone and a small casement has been inserted in its stead. Above this original doorway is a small but distinctive casement, comprising a single light window with a segmental arched lintel above (Plate 7). On the gable at the west end of the farmhouse, there is a blocked window on the ground floor, which would appear to have originally been a mullioned casement with two lights. On the first floor above, there is a plain open aperture, where a comparable casement once stood, whilst on the north elevation, there is a further blocked window, which may have been a single light casement (Plate 8). Unlike the windows on the front (south) of the cottage, these windows are more utilitarian and feature neither the chamfered and rebated surrounds, nor the label moulds, which adorn their counterparts. The remaining windows on the rear of the building are modern timber casements featuring pairs of side hung ventilators (Plate 9), as is the casement on the east elevation of this rear extension.
- 4.2.2 As noted above, the original entrance to the cottage was located at the east end of the south elevation. This would appear to have been replaced by the inserted entrance on the east gable, which features a modern, matchboard style door and deep, flush lintel (Plate 10). Aside from this entrance, the only other means of access into the cottage was through the 'wagon doors' in the extension. It is clearly evident that these wagon doors are not contemporary with the original building of the extension, since the steel lintel cuts through a stone-blocked casement on the first floor, and this raises questions regarding the assertion that the extension was originally used as a barn.

4.3 INTERNAL DETAIL

- 4.3.1 In the 1980s, an attempt was made to restore the cottage as a residential dwelling, and unfortunately, this has had a considerable impact on the historical character of the interior (Plate 11-12). Although the cottage is likely to have had an inglenook fireplace, no evidence remains as a modern, brick chimney breast has been built in what is now the 'living room' at the east end of the building (Plate 13). In addition, the majority of the internal walls have been removed and replaced by partitions of insulation blockwork (Plates 11-12), whilst the floor have been laid to modern concrete. Moreover, the cottage is now only single storey, being open to the roof height on the ground floor.
- 4.3.2. In light of this, there is little of interest within the cottage. Notwithstanding this, it is clear that the wagon doors at the west end have been inserted. As on the exterior, the lintel cuts through the infilled window, which is here, brick-blocked, whilst the stonework surrounding the wagon doors has been extensively repaired with brick (Plate 14). In addition, the original west gable of the cottage, which now forms the internal dividing wall between the extension and the cottage, remains (Plates 15-16). However, it is by no means stable and is currently supported by two substantial timber props on its west side, whilst sporadic patches of brickwork attest to running repairs and possible blocked casements. In the centre of this elevation, there is a small niche, with a roughly fashioned stone lintel and two neat sandstone shelves, whilst a first floor door at the south end of the same elevation confirms that this extension was originally conceived as, or later converted to a two-storey extension (Plate 16).

5. BAR SURVEY: ARCHIVE AND INFORMATION

5.1 DETAILS OF OWNERSHIP AND MANAGEMENT

- 5.1.1 The building is situated within Holcombe Moor Training Area, part of the wider Defence Training Estate (DTE) and managed by Defence Estates (DE) TLB, a business area within the MOD. The training area is commanded by Major Jim Snell, whilst responsibility for the day to day management and maintenance rests with Clare Hetherington of DE/MOD. At present, there is no conservation based management plan or agreement in place with regard to Simon's Sundial Cottage.

5.2 USE OF BUILDING

- 5.2.1 The building was originally the cottage for Simon's Farmstead, which was created by sub-dividing the land associated with Hollingrove Farmstead to the south (OA North 2006). It was built during the early eighteenth century as a two unit style building, that was later added to on its west and north elevations during the nineteenth century. The former is described as a 'barn' in the schedule, but this would seem inconsistent with the presence of the blocked casement on the first floor on the front (south) of the building, and the additional blocked windows on the west and north elevations. Moreover, there is clearly a blocked doorway on the first floor of the dividing wall between the original cottage and this later addition, which would suggest that the extension was used as a dwelling from the outset, rather than as a barn. Perhaps the family grew too large to be accommodated by the original cottage and so additional living space was needed. Alternatively, the extension may have been used as the living quarters, the 'men's end' (Brunskill 1997), for any labourers associated with the farm. The large doors, the 'wagon doors' to the front of the building are clearly later insertions, as evidenced by the brickwork on the interior, and this further undermines the extension functioning as a barn.
- 5.2.2 Cartographic sources demonstrate that the cottage had a series of pens and/or outbuildings built within its vicinity, but all of these have since been demolished, with the exception of the partially converted barn to the south. It is unclear how long the cottage survived as the hub of a fully functioning farm, as the creation of the firing ranges during the First World War did not impede the continuation of farming in the area, and many of the farms on its periphery continued well into the twentieth century (OA North 2006). Certainly, the cottage would appear to have been unoccupied at some point during the mid to late twentieth century, which would account for the new roof and other alterations and repairs made during the early 1980s.

5.3 DETAILS OF GEOGRAPHICAL LOCATION AND CONTACTS

- 5.3.1 *Grid Reference:* SD 76828 16017

- 5.3.2 *Country:* England, UK
- 5.3.3 *Unitary Authority:* Greater Manchester
- 5.3.4 *County Archaeologist:* Robina McNeil

5.4 LIST DESCRIPTION

- 5.4.1 Cottage. Circa 1700 with later extensions. Squared rubble in courses with larger flush quoins. Concrete tiles replacing stone slate. Brick ridge stack. Former stack above right hand gable now demolished. Two storeys. Two unit plan with doorway to former lobby entry at right hand of front now blocked, added outshot at rear and barn added at left hand gable end. A large 4-light window stone mullioned casement in centre of front on ground floor with a smaller 3-light mullioned casement to left, both with eared hoodmoulds. Blocking in doorway to right has small single light window. On first floor a central 3 light stone mullioned casement, a smaller window to left and a small arched window divided by a central mullion to right. The remains of a large sundial set between the upper and lower central windows. A wagon doorway to barn extension. A doorway in the right hand gable wall with monolith lintel.

5.5 PAST SURVEY AND RECORD

- 5.5.1 Although the building is listed, there are no quadrennial inspection documents for Simon's Sundial Cottage. In addition, there would appear to be no meaningful survey of the building itself, but a boundary survey of Holcombe Moor was conducted by Oxford Archaeology North (OA North) in 2005 (OAN 2005), following an identification survey by Lancaster University Archaeological Unit (now OA North) a decade earlier (LUAU 1995). The cottage is included within the report, but the survey was primarily concerned with the landscape as a whole rather than individual buildings, and subsequently, the level of detail for Simon's Sundial is limited.

5.6 PAST REPAIR AND ALTERATIONS

- 5.6.1 Clare Hetherington of Defence Estates has no record of any alterations or repairs to the property since the acquisition of the building by the MOD in 1984 and thus, it would appear that all of the modern alterations are no later than the early 1980s.

6. BAR SURVEY: PROFESSIONAL ASSESSMENT

6.1 MILITARY REQUIREMENTS AND POTENTIAL USE:

- 6.1.1 Simon's Sundial Cottage has been part of Holcombe Moor Training Area since 1984, but the building has, by and large, been left idle following this acquisition. The decision to purchase was governed by two considerations: that the attached land encroached within the training area, and that the newly acquired land would provide a buffer zone between the training area and the private residential houses down the track. Any plans the MOD had to utilise the building itself have been limited, as a planning condition states that the building cannot be used for military training. In light of this, Major Jim Snell (Commander of Holcombe Moor Training Area) and Clare Hetherington (Defence Estates) have made it clear that there are no immediate military requirements for the building, but several options for potential future use have already been mooted. Not all of these options involve a military use, but they are adamant that the land, if not the building itself, remains under MOD ownership, as the building is relatively close to the live firing range and on route to the dry range.
- 6.1.2 At present, the condition of the cottage is not a barrier to future use, in that the building is structurally sound with a modern roof already in place, but certainly there are concerns regarding the state of the partition wall between the original build and the later extension towards the west end. Although potential military use is constrained by the planning conditions noted above, it has been suggested that the building may have a non-tactical military application in future, either as a 'stone tent' for personnel from the regular Army, the TA or the various cadet groups, or alternatively used as a briefing room. A further option would be to turn the cottage into a field studies centre for the local Conservation Group, whilst another possibility would be to convert this and the adjacent property into recreational facilities for the various cadet groups and/or their families.
- 6.1.3 As the building is relatively stable, there is no immediate need for any of these plans to be implemented, but the longer the building is left disused, the greater the risk of deterioration will obviously become. In addition, as the public has free access to the building, there is also a threat, albeit minor, of arson and vandalism to the building whilst it remains unoccupied.

6.2 ASSESSMENT OF ITS CURRENT CONDITION

- 6.2.1 The condition of Simon's Sundial Cottage is generally reasonable. All of the external walls are stable enough, whilst the roof is a modern replacement, ensuring that the building is relatively weatherproof. There are some concerns regarding the stability of the internal wall between the original phase and the west extension, but the interior is generally reassuring with modern concrete flooring and insulation blockwork lining the walls.

- 6.2.2 Using the grading system referred to in the project brief the overall condition of the building is fair (2).
- 6.2.3 There are no services (water, gas, electric, sewage) to the building, but a recent attempt to convert the adjacent property means there is a potential water supply immediately to the south, whilst the nearest electricity supply is only a few hundred yards away at the training area assault course.

7. RECOMMENDATIONS

7.1 OPTIONS FOR THE FUTURE

- 7.1.2 The MOD does not at present use the building, but has explored potential avenues for future use, including non-military applications. In light of this, there are several options or scenarios for the future of the cottage.
- 7.1.3 **Option 1:** Minimum Consolidation. As Simon's Sundial Cottage is listed, DE has both a policy and legal requirement to secure the future of the building by at least preventing its condition from deteriorating. In its current condition, the building is in a reasonable state of repair with no obvious structural defects, but conservation and structural work still needs to be undertaken on all aspects of the cottage, including the roof and external walls (see Appendix 2 for details). Although the building would continue to have no genuine use, its condition would be greatly improved and this would ensure its continued survival.
- 7.1.3 **Option 2:** Partial Restoration. With further work on the interior (Appendix 2), the cottage could have some limited military use as a 'stone tent'. However, Clare Hetherington was sceptical of this option, as the building lies within the vicinity of private residences, and the owners of these properties may find the noise too objectionable for this to be viable.
- 7.1.4 **Option 3:** Full Restoration. If the cottage was fully repaired and converted, the building could be used for non-tactical military purposes, such as a briefing room or office. While the proposal is certainly viable, there would appear to be little likelihood of this happening as its location is remote in comparison with the other buildings in the training area.
- 7.1.5 **Option 5:** Full Restoration. An equally workable option would be to convert the building into a field studies centre for the Holcombe Moor Conservation Group, with whom DE and in particular, Clare Hetherington have good relations. This option would mean that the building would be restored and used, whilst the MOD could still retain the land and keep the buffer zone between the private residences and the training area. While this idea sounds fine in theory, it is unclear how viable this option really is. The Conservation Group does not have the resources to either finance a lease of the building or pay for its repairs. It is evident the onus of funding the repairs and conversion rests with the MOD, but it is questionable if spending such a sum of public money could be justified if the building was not intended for use by the MOD.
- 7.1.6 **Option 6:** Full Restoration. A further option would be for the cottage and adjacent property to be converted and used as recreational facilities for the cadet groups and/or their families. This would seem a sensible option as the buildings would be used continuously throughout the year and the amenities may provide at least a small-scale opportunity to recoup some of the revenue invested in repairs and conversion.

Option 7: Disposal. The other main option would be for DE to dispose of the site and sell it for a non-military use. However its proximity to the training area and live and dry firing ranges (albeit on the edge of it) make this option very unlikely.

7.2 DEVELOPMENT CONSTRAINTS

- 7.2.1 Simon's Sundial Cottage is not located within the main operational areas of the training area, but both Major Snell and Clare Hetherington have stated that the land if not the property is still significant because it is relatively close to the live firing range and on route to the dry firing range. In light of this, there is a reluctance to sell the property for residential or commercial purposes, but both are happy for the building to be used for non-military applications, such as a field studies centre for the Holcombe Moor Training Area Conservation Group. Access to mains water is available at the adjacent property, whilst the nearest electricity supply is located at the training area assault course, only a few hundred yards away. However, there is no immediate access to sewage and gas supplies.
- 7.2.2 It is important to be aware that protected species such as bats may be taking advantage of the structure and an appropriate ecological survey and mitigation should be carried out in advance of any consolidation or repair works.

7.3 ITEMISED REPAIR AND CONSERVATION SCHEME OF WORKS

- 7.3.1 An itemised list of repairs and conservation works has been provided in the report on Simon's Sundial Cottage by Trevor Groom (Chartered Quantity Surveyor). This forms Appendix 1 in the current document.
- 7.3.2 The works should be directed by a suitably qualified conservation architect and should be undertaken by a building contractor who specialises in conservation work. Traditional materials should be used throughout and in particular the repointing should be undertaken with lime mortar. Vegetation against the walls should be carefully pruned and the main stems poisoned. These stems should then be left to wither before removal.

7.4 IDENTIFICATION OF COSTS

- 7.4.1 An indication of the likely costs involved in the repairing and conversion of Simon's Sundial Cottage is provided in Trevor Groom's report (Appendix 2).

7.5 MAINTENANCE PROGRAMME

- 7.5.1 As the building is listed, MOD policy states that a Quadrennial inspection is required every four years, in order to identify capital and regular items requiring work. In addition, the building should be included on the asset register, and a basic annual condition assessment should be conducted annually. This includes general recommendations and a clear list of minor

maintenance tasks to be undertaken by staff, leaving the QI to identify specialist conservation works. In addition, it is current policy for DE to undertake a 5 yearly condition assessment of all archaeological sites on the DTE.

7.5.2 All forms of condition assessment should assess the overall condition of the building and check the main conservation works undertaken

7.5.3 The cottage will require a basic annual maintenance programme, in order to avoid small issues such as vegetation causing cracks or mortar washing away. These will, if left unchecked, become major problems that will undoubtedly destabilise the building and jeopardise its future.

7.5.4 If the buildings are restored (either partially or fully) the basic annual maintenance programme for each would consist of

- clearance of all gutters
- check gutters and downpipes functioning correctly
- clearance of vegetation from walls, eaves (eg ivy) and immediately surrounding buildings where they might destabilise foundations of buildings
- clearance of branches from trees close to buildings (but not close enough to necessitate their complete removal)
- check condition of timber in external doors and windows
- repaint timber in windows, doors eaves etc if necessary
- check roof for loose slates
- general check over all walls for any new cracks in stonework
- check for birds nesting in eaves and assess if any damage is being caused to buildings
- check arches/lintels over openings

8. CONCLUSION

- 8.1.1 Simon's Sundial is an attractive eighteenth century cottage, which in its present condition, is relatively stable with no serious defects in either the fabric of the external walls or the roof. Notwithstanding this, the building does require some repairs in the immediate future, in order to secure its continued stability. The exterior of the building retains much of its original character, particularly through the retention of the attractive stone mullioned casements on the front of the building. Unfortunately, the same cannot be said of the interior, which was stripped of its historical aspect during an attempted conversion in the early 1980s. In spite of this, the cottage is one of many relict farmsteads in the Holcombe Moor area, marking a once thriving farming community, which can be traced back to at least the early sixteenth century (OA North 2006).
- 8.1.2 The building has not been used since its acquisition by the MOD in 1984 and there are no immediate plans in effect to change this present state of affairs. Notwithstanding this, the MOD are exploring several avenues, which could provide a viable use for the building and ensure its continues stability. Despite the considerable outlay necessary to repair and possibly convert the property, money is not necessarily the overriding issue in this process. Stringent planning conditions ensure that the military is unable to use the building for any tactical purpose, whilst the use of the building as a 'stone tent' for bivouac-type training is likely to meet with dissension from the private residents living within the vicinity of the cottage.
- 8.1.3 In light of this, an alternative would be to sell the property to a private buyer, but this would mean that the attached land, which provides a buffer zone between the training area and the local private residents, would be lost. The land is also used by the military regularly as it is part of the access point onto the dry firing range. With this in mind, the most sensible option would be to convert the building into a field studies centre for the Holcombe Moor Heritage Conservation Group. Defence Estates enjoys a cordial relationship with the group and it would be a viable means of ensuring that the land remains under MOD ownership, whilst simultaneously providing a use for the building and thus, ensuring its future.

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Enfield To Bolton Turnpike Map 1797 (BAS/ZAL?1339)

Ordnance Survey First Edition Map 1850 (this version: revised 1898 Edition), 6: 1 mile series.

Ordnance Survey Second Edition Map 1912, 1:2500 series.

Ordnance Survey Third Edition Map 1930, 1:2500 series.

9.2 PRIMARY SOURCES

Tottington Court Rolls, Index of Surrenders - Michaelmas to Easter 1836 (LRO/DDHcl/1/20)

Slater 1869, Royal National Commercial Directory of Lancashire

9.3 SECONDARY SOURCES

Brunskill, R W 1997, *Houses and Cottages of Britain: Origins and Development of Traditional Buildings* London

OA North 2006, *Report on Holcombe Moor Training Area, Greater Manchester* (unpublished)

10. ILLUSTRATIONS

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Plate 13: Detail of the modern brick fireplace and chimney breast, built during the early 1980s.

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Plate 15: The original west elevation of the cottage, now the internal partition between the cottage and the later 'barn' extension.

Plate 16: The internal partition between the cottage and the later 'barn' extension. Note the blocked first floor doorway on the right of the plate.

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Figure 1: Site Location

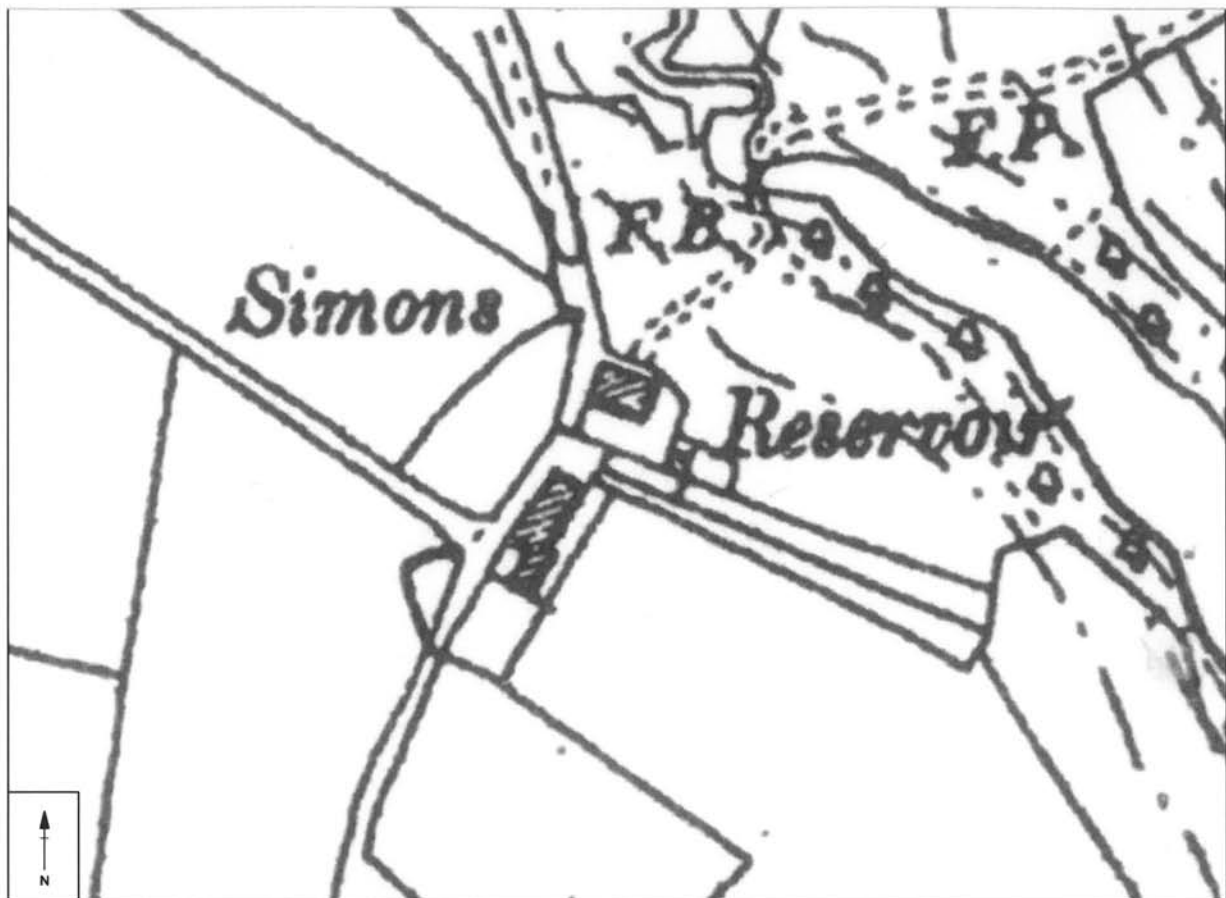


Figure 4: Extract from Ordnance Survey Second Edition Map, 1912, 1:2500 series



Figure 5: Extract from Ordnance Survey Third Edition Map, 1930, 1:2500 series



Figure 2: Extract from The County Palatine of Lancaster Map, 1786 (Yates 1786, reprint 1982)

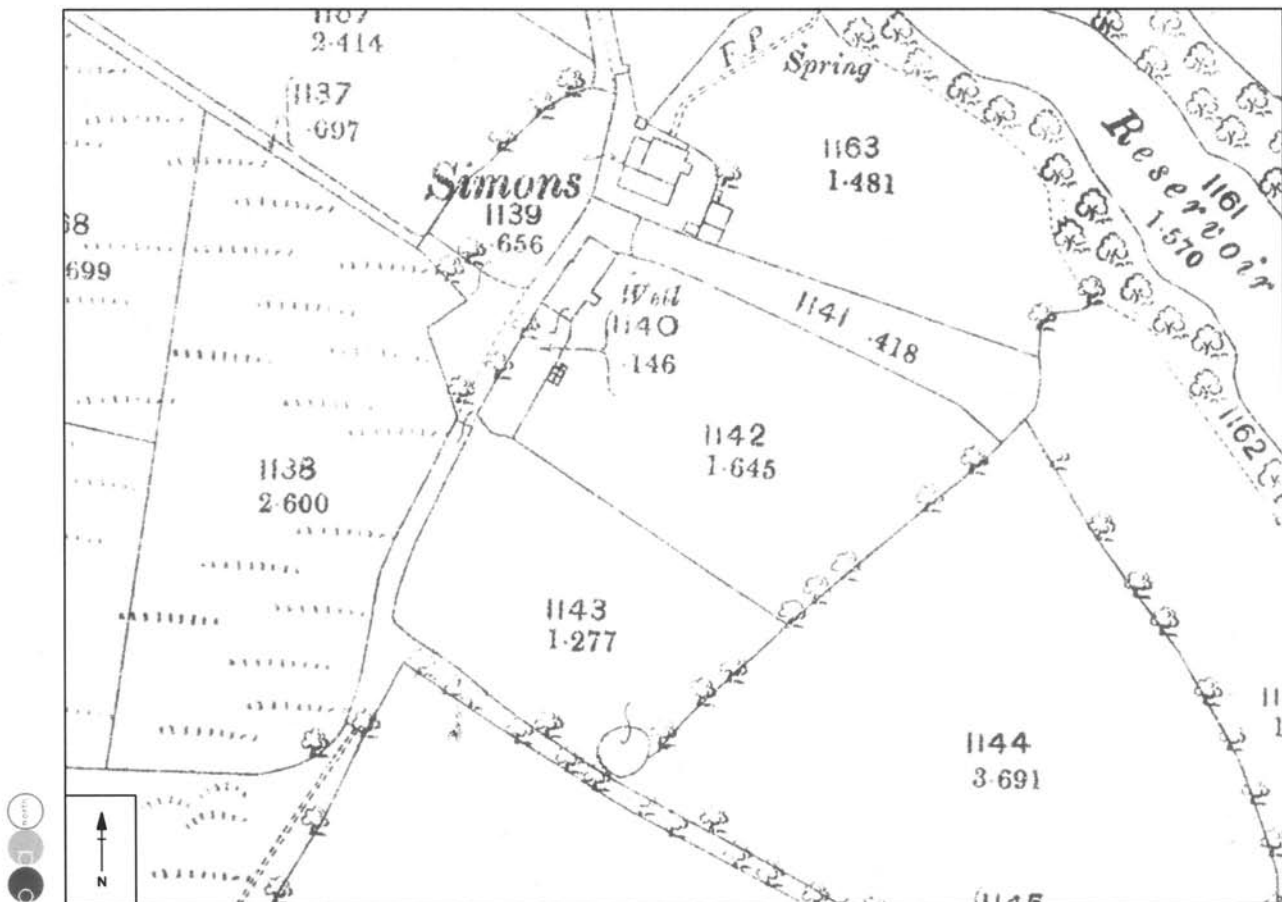


Figure 3: Extract from Ordnance Survey First Edition Map, 1850 (1898 revision), 6":1 mile series

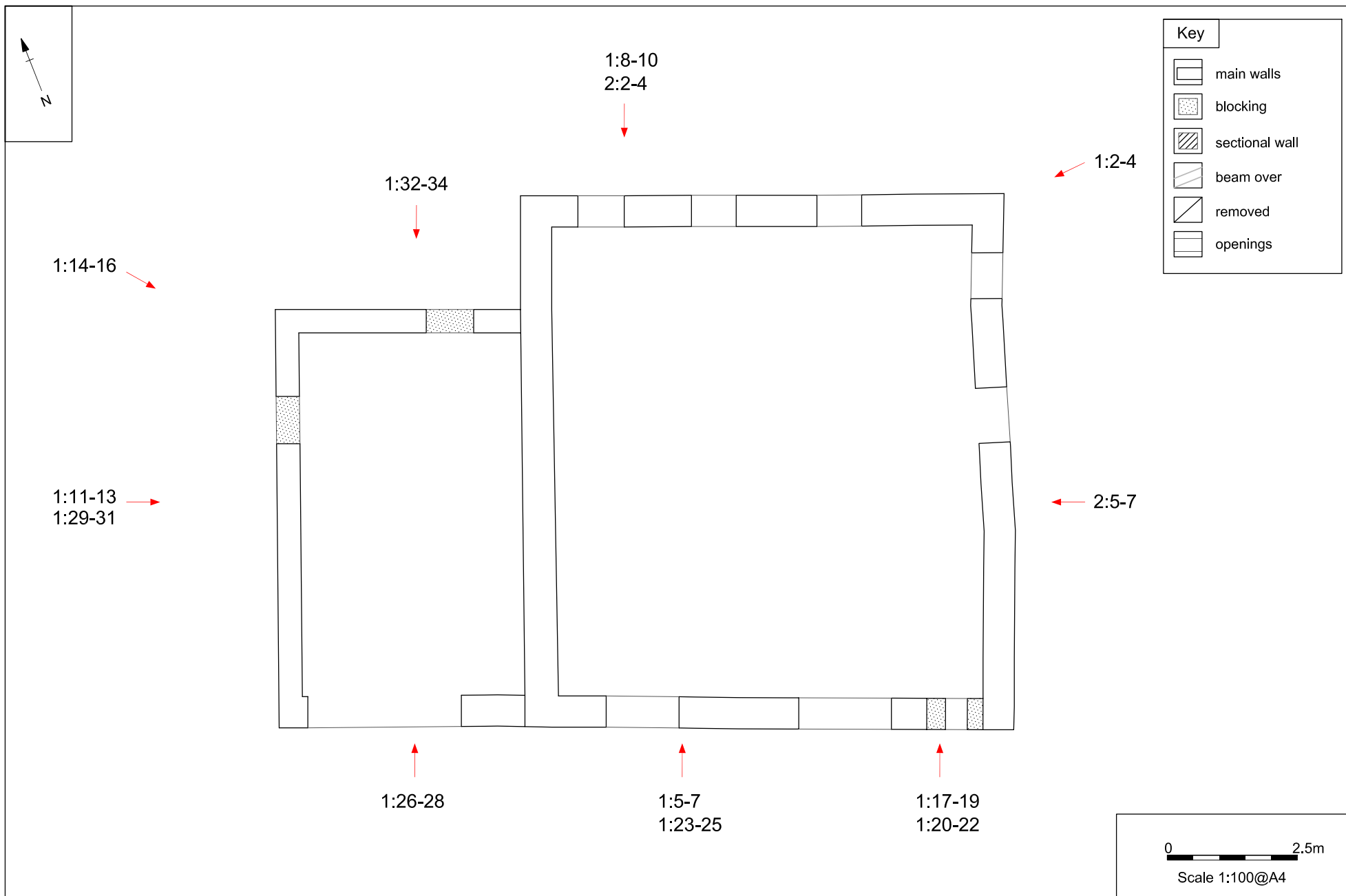


Figure 6: Plan of Simons Sundial Cottage



Plate 1: The front (south) elevation of the cottage



Plate 2: The west elevation of the 'barn' extension to the cottage



Plate 3: The rear (north) elevation featuring both the 'barn' extension to the right, and the rear extension in the foreground



Plate 4: The east elevation of the cottage including the rear extension to the right



Plate 5: Detail of the eponymous sundial on the front (south) elevation of the cottage



Plate 6: Detail of one of the stone mullioned casements that feature on the front (south) elevation of the cottage



Plate 7: Detail of the small casement featuring segmental arch lintel on the front (south) elevation



Plate 8: Detail of the blocked casement on the south elevation of the 'barn' extension



Plate 9: Detail of one of the modern casements on the north elevation of the rear (north) extension



Plate 10 : Detail of the small doorway on the east elevation. The scarring from the demolished porch or outshut is clearly visible



Plate 11: General view of the modern blockwork from the partial conversion in the early 1980s



Plate 12: General view of the interior of the rear extension, which was lined with insulation blockwork during the early 1980s



Plate 13: Detail of the modern brick fireplace and chimney breast, built during the early 1980s



Plate 14: The interior of the doors on the south elevation of the 'barn' extension



Plate 15: The original west elevation of the cottage, now the internal partition between the cottage and the later 'barn' extension.



Plate 16: The internal partition between the cottage and the later 'barn' extension.
Note the blocked first floor doorway on the right of the plate

APPENDIX 1: PROJECT DESIGN
